

PBRERA-SAS81-PC0077

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# A RETAIL RENAISSANCE.


A project by JUBILEE INFRA PLANNER LLP



**Jubilee**  
**SQUARE**  
| Address of Ambitions



# JUBILEE SQUARE AEROCITY MOHALI



The brand, the location, the destination and the business development, is set to be transformed into the pioneer hub of retail, leisure and lifestyle. Aerocity & IT City Mohali is envisioned to be the epitome of business and entrepreneurial development to create untold opportunities.

1080 acres under development of Aerocity, 1680 acres of IT City and Plan for acquiring more than 5400 acres of Aerotropolis, demonstrates Punjab Government's ambitious plans. Here, top corporates & institutes such as Infosys, Ashoka University, HDFC and many more are coming up that will further give ample footfall to our retail hub. It is a key destination where a potential untapped market is poised to draw in crowds and investors from every imaginable industry.

Stretched along PR 7 Airport Road, Jubilee Square offers an impressive frontage and unparalleled visibility.

# CONNECTIVITY & EXCLUSIVITY COMES IN FULL CIRCLE.



A PERFECT ADDRESS TO ENHANCE YOUR BUSINESS.



# FULL VIEW OF THE PROJECT.



WELL PLANNED ACCESSIBILITY WITH NEVER BEFORE FEATURES.



# PROJECT FEATURES



Sewerage, Water and Electricity supply in Aerocity already provided and maintained by L&T and GMADA.

Ideal commercial space for every business need

Corridors of SCO opening on both the sides for better movement

Entry and exit of project on three sides, all connected to the roads.

Ample surface parking for convenience

Every SCO gets good visibility from the Airport Road

100% Ground coverage & F.A.R. 3 like no other

First Commercial development of Block E AeroCity

Well connected to Highways, Railways and Airways

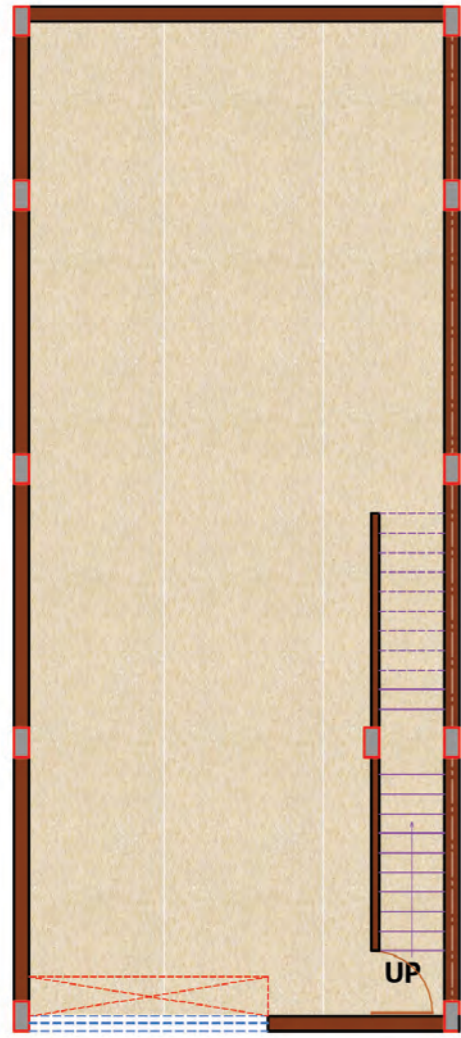
# SITE PLAN OF SHOWROOMS



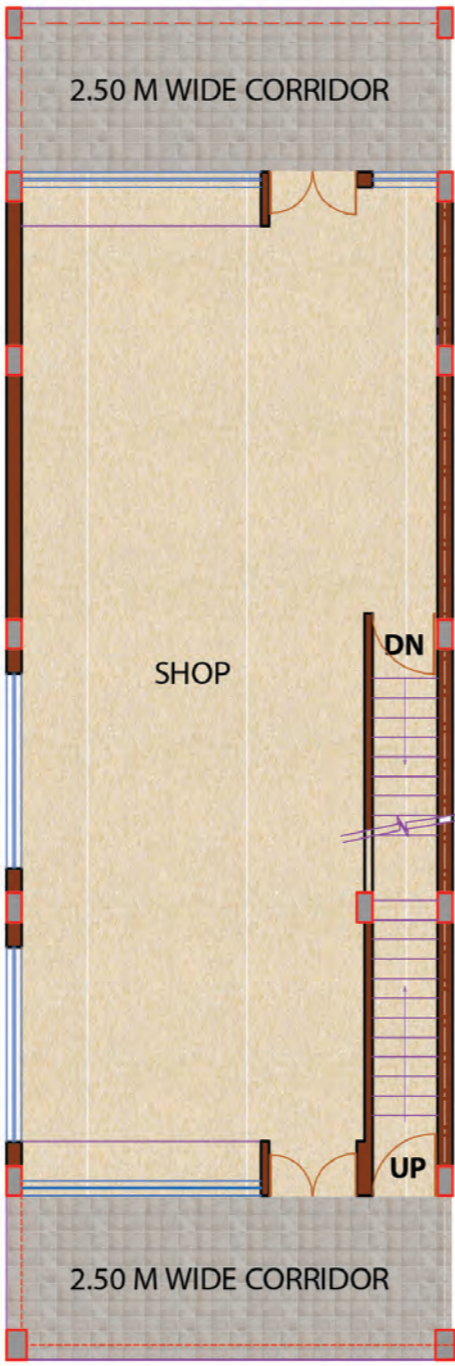


# TYPICAL FLOOR PLANS FOR CORNER SHOWROOMS

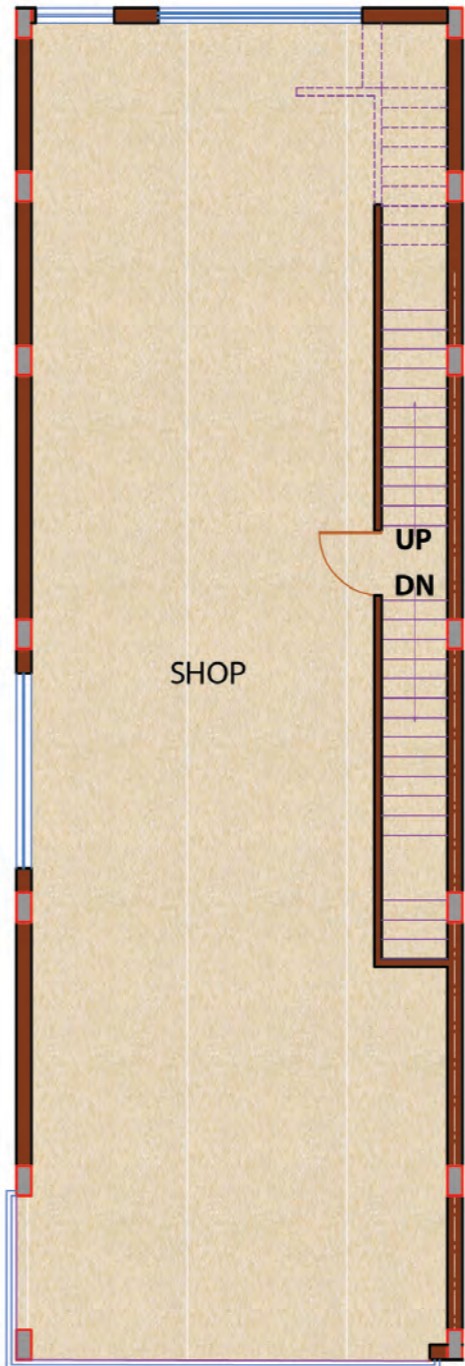
SCO No.	Dimensions	Area
1	22' x 68' (Approx.)	166.13 Sq. Yds.
15	18' x 68' (Approx.)	135.46 Sq. Yds.
17	18' 6" x 90' (Approx.)	185.29 Sq. Yds.
33	18' 6" x 90' (Approx.)	185.29 Sq. Yds.
34	18' x 90' (Approx.)	179.91 Sq. Yds.
47	23' x 90' (Approx.)	229.89 Sq. Yds.



BASEMENT PLAN



GROUND FLOOR PLAN



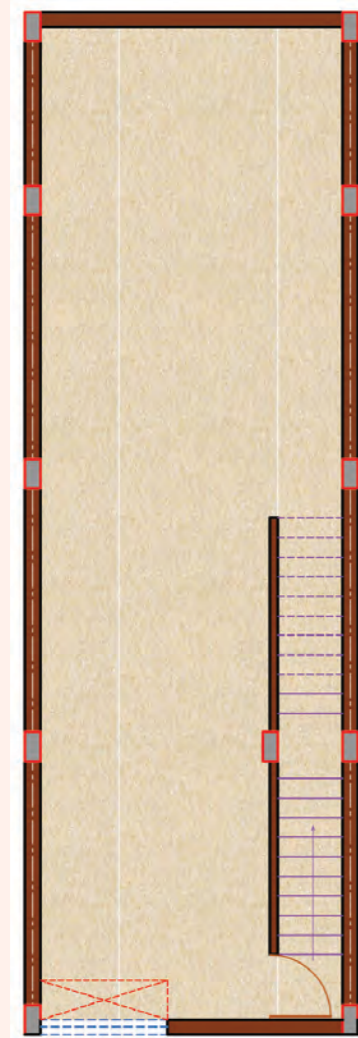
FIRST FLOOR PLAN



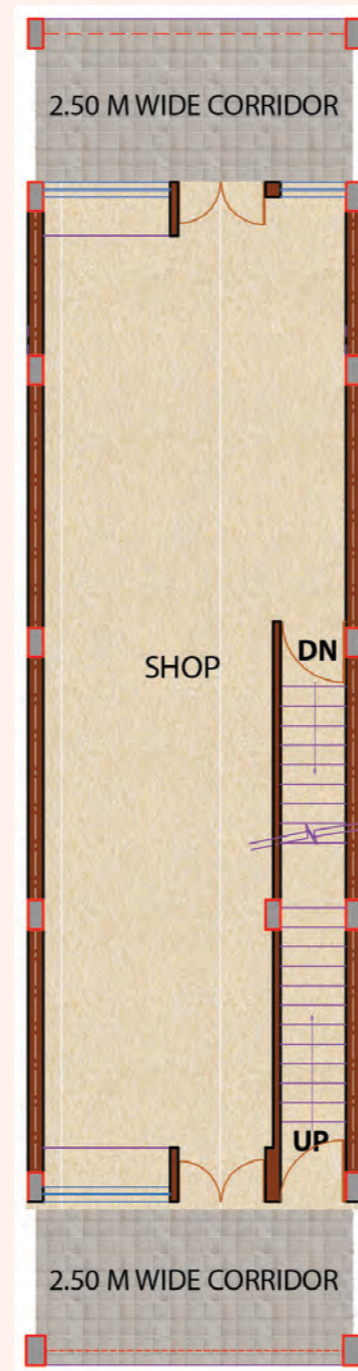
SECOND FLOOR PLAN

# TYPICAL FLOOR PLANS FOR SHOWROOMS

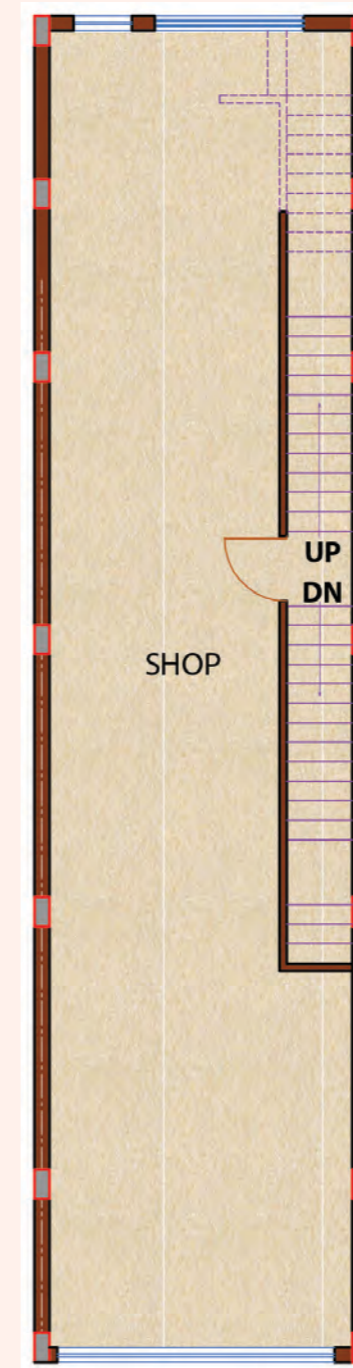
SCO No.	Dimensions	Area
2-10	16' x 68' (Approx.)	120.82 Sq. Yds.
11-12-14	18' x 68' (Approx.)	135.46 Sq. Yds.
18-32	18' x 90' (Approx.)	179.91 Sq. Yds.
35-46	18' x 90' (Approx.)	179.91 Sq. Yds.



BASEMENT PLAN



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



**Jubilee Infra Planner LLP**

Corporate office – SCO 22, 1st Floor, Airport Road, Sector 79, Mohali.

Site Sales Office – Block-E, Aerocity, Airport Road, Mohali.

[www.jubileegroup.in](http://www.jubileegroup.in)

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